

# 141 MEEHAN STREET, YASS

## LANDSCAPE MAINTENANCE PLAN

### DRAWING LIST

Drawing Number	Drawing Title	Current Revision
LS-000-001	Cover Sheet	1
LS-000-002	Landscape Plan	1
LS-000-003	Landscape Plan	1
LS-000-004	Specifications	1
LS-000-005	Landscaping Maintenance	1
LS-000-006	Landscaping Maintenance	1
LS-000-007	Landscaping Maintenance	1

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Rev Date Description Drawn Checked



LONGLA Studio 26a Forest Glen Drive, Cranebrook. NSW, 2749  
Phone (+61) 0423011420

Client

**John Mcgrath**

Project

**Private Development**  
141 Meehan Street, Yass

Drawing Title

**Landscape Maintenance Plan**

Drawing Status

FOR COORDINATION

Scale @ A3 Date 22.11.2024 4:00:00pm

Project No. Drawing No. Revision

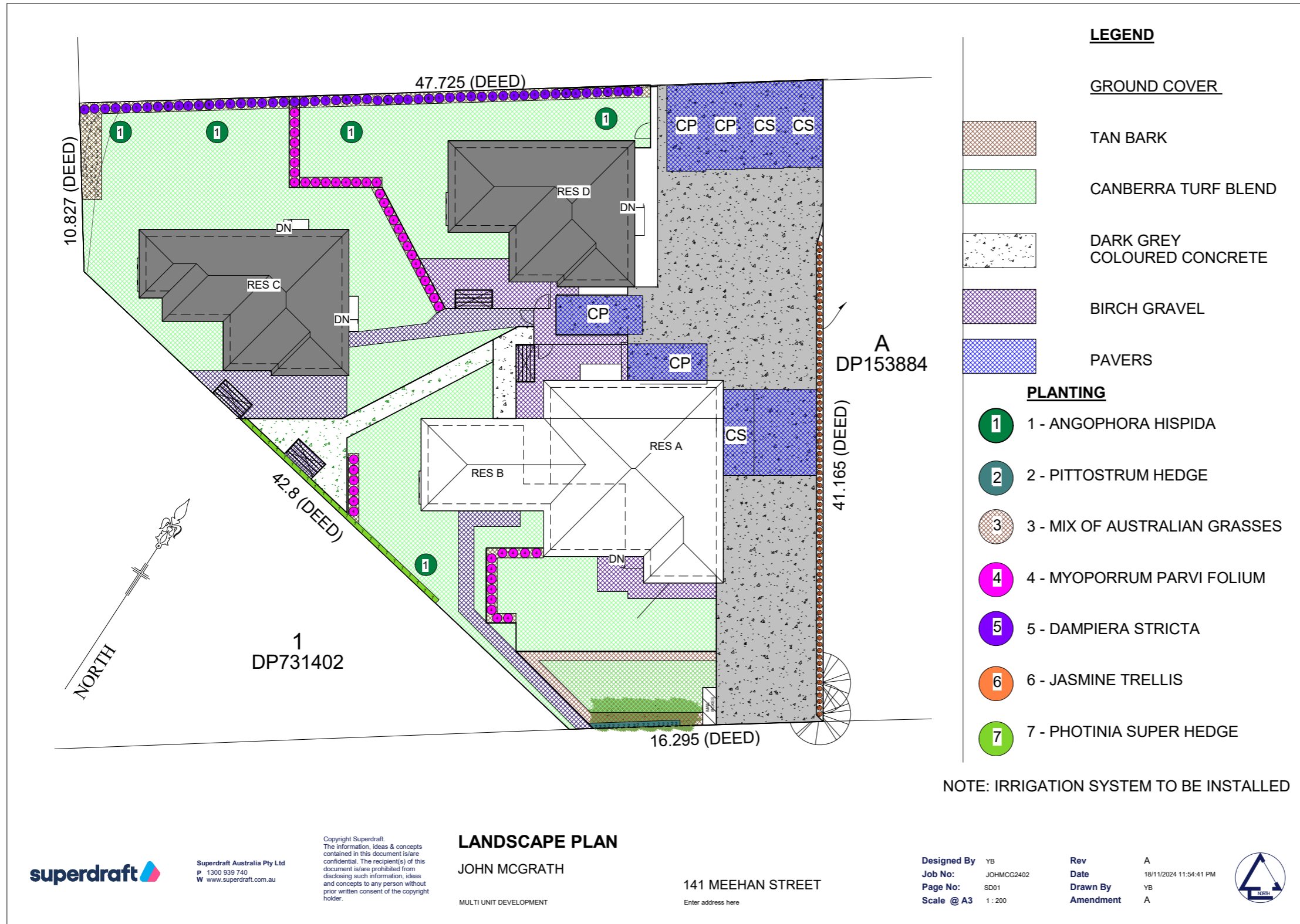
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LANDSCAPE PLAN INFORMATION

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NOTE: IRRIGATION SYSTEM TO BE INSTALLED

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**LANDSCAPE CALCULATIONS**

TOTAL AREA FORWARD THE BUILDING LINE: 236.97m<sup>2</sup>  
 LANDSCAPE AREA REQUIRED FORWARD THE BUILDING LINE: 59.24m<sup>2</sup>  
 PROPOSED LANDSCAPE AREA FORWARD THE BUILDING LINE: 172.30

TOTAL SITE AREA: 1480m<sup>2</sup>  
 TOTAL REQUIRED LANDSCAPE (40% OF TOTAL SITE): 592m<sup>2</sup>  
 TOTAL LANDSCAPE AREA PROPOSED: 776.70m<sup>2</sup>

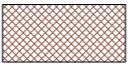
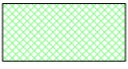
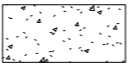

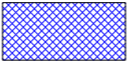
TOTAL PROPOSED RESIDENCE A LANDSCAPING AREA: 116.26m<sup>2</sup>  
 TOTAL PROPOSED RESIDENCE B LANDSCAPING AREA: 126.32m<sup>2</sup>  
 TOTAL PROPOSED RESIDENCE C LANDSCAPING AREA: 295.15m<sup>2</sup>  
 TOTAL PROPOSED RESIDENCE D LANDSCAPING AREA: 153.80m<sup>2</sup>

NOTE: IRRIGATION SYSTEM TO BE INSTALLED












NOTE: MIX OF AUSTRALIAN GRASSES TO BE A MIXTURE OF THE FOLLOWING:

- AUSTROSTIPA DENSIFLORA
- JOYCEA PALLIDA
- LOMANDRA CONFERTIFOLIA
- THEMEDA TRIANDRA

**GROUND COVER**

	TAN BARK
	CANBERRA TURF BLEND
	DARK GREY COLOURED CONCRETE
	BIRCH GRAVEL
	PAVERS

**PLANTING**

		AGE	QUANTITY	POT SIZE	IMAGE
	1 - ANGOPHORA HISPIDA	JUVENILE	5	200L	
	2 - PITTOSTRUM HEDGE	MATURE	18	30cm	
	3 - MIX OF AUSTRALIAN GRASSES	MATURE	N/A	N/A	N/A
	4 - MYOPORRUM PARVI FOLIUM	JUVENILE	18	14cm	
	5 - DAMPIERA STRICTA	JUVENILE	52	30cm	
	6 - JASMINE TRELLIS	JUVENILE	75	10cm	
	7 - PHOTINIA SUPER HEDGE	JUVENILE	25	40cm	

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Drawing Title

**Landscape Maintenance Plan**

Drawing Status

FOR COORDINATION

Scale	@ A3	Date	22.11.2024 4:00:00pm
Project No.	Drawing No.	Revision	

LS-000-003 1



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**LANDSCAPE PLAN**

JOHN MCGRATH

MULTI UNIT DEVELOPMENT

141 MEEHAN STREET

Enter address here

Designed By Designer  
Job No: JOHMC2402  
Page No: SD02  
Scale @ A3 1:200

Rev A  
Date 18/11/2024 11:54:48 PM  
Drawn By Author  
Amendment A



# LANDSCAPE SPECIFICATIONS

## 1. PRELIMINARIES

1.01. General  
Commencement of work by The Contractor shall be deemed as proof of The Contractor's acceptance of the following conditions and existing condition of site.  
The landscape plans must be read in conjunction with the survey, architectural plans, engineering plans, service plans, hydraulic plans, and all other relevant documentation prepared by others for the development.  
All specification information provided below is supplementary to all relevant codes and Australian Standards. The Contractor must undertake their own investigations of relevant aspects of the National Construction Code and Australian Standards and ensure all construction works complies with requirements.

1.02. Workmanship & expertise  
The Contractor must be conversant with all current best practice methods relevant to their profession and work being undertaken.  
The Contractor (and subcontractors) must be appropriately experienced with all aspects of the work being undertaken.  
All planting, establishment and maintenance work must be carried out by qualified arborist / horticulturalist with minimum three years' experience in similar work. It is a requirement that the site foreman / leading hand will have the minimum certificate qualification equivalent to a NSW TAFE Course, with a minimum five years demonstrable experience in similar landscape projects.  
Refer to plan notes for additional information.

1.03. Check / Hold Points  
The Contractor must provide minimum 5 working days' notice for the Client's representative to inspect the works for compliance with the design documents. At a minimum, inspections are to occur at the following check / hold points:  
• Ground preparation  
• Set out (hardworks & softworks)  
• Approve in-situ samples, as required  
• Nursery inspection of plant specimens  
• Installation of advanced trees (or larger)  
• Prior to practical completion  
• During defects period  
• At handover  
The Contractor must allow for additional hold points that may be deemed necessary by the Client's Representative during the construction phase.

1.04. Initial preparation  
The Contractor must arrange a site meeting with the Client's representative (Landscape Architect) prior to commencement to: confirm design intent, review documentation and confirm construction methodology.  
No work shall be carried out until all underground services have been identified and accurately located and pegged by Contractor.  
The Contractor is to ensure all appropriate safety provisions are made, including but not limited to traffic control and appropriate PPE for all staff.  
Location of material stockpiles must be agreed with Client's Representative prior to commencement of work on site.

1.05. Protection of existing adjacent elements  
The Contractor must ensure all adjacent pavements, urban elements, planting, etc. are adequately protected prior to commencement of works and evidenced through a dilapidation report.

1.06. Protection of existing trees  
All existing trees to be retained must be protected in accordance with AS4970 - Protection of Trees on Development Sites, please refer to the Arborist report prepared by Naturally Trees for details.  
Plans and specifications complying with DA condition (C36) must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of DA condition (C36). Any tree(s) shown as being retained on the approved plans must be protected and retained in accordance with this condition. Do not store or otherwise place bulk materials and harmful materials under or near trees within the tree protection zone. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refuelling, site office and sheds must not occur within the drip line of any existing trees, or within 5m of any existing trees where the drip line radius is less than 5m.  
Do not place spoil from excavations against tree trunks, even for short periods. Prevent wind-blown materials such as cement from harming trees and plants.  
Particular care must be given to root protection; excavation around existing trees must be undertaken by hand methods, unless otherwise approved by the Client's representative.  
Machine excavation is to be undertaken no closer than 2m from the trunk of existing trees, or until a root with diameter greater than 30mm is encountered. Hand methods should be used around tree roots greater than 30mm.  
Soil within 2m of existing trunks should be lightly cultivated (using hand methods). Soil levels should not exceed 100mm greater than existing.  
Where required, the client will engage a site arborist to review the contractor's tree protection methods and tree issues during construction. The Contractor must undertake any works requested by the Site Arborist to ensure the protection of trees to be retained. The Site Arborist must be given access to the site for detailed inspection purposes.

1.07. Existing tree removal  
When removing trees, take care not to damage any adjacent existing structures, services or trees to be retained. Where trees to be removed are located in future planting areas as shown on the Planting Plan(s), fully remove the trees and their parts including the root system to enable new soil preparation and planting works.

1.08. Erosion & pollution control  
The Contractor must take all proper precautions to prevent the erosion of soil from the subject site. The Landscape Contractor must install their own erosion and sediment control measures in addition to any site wide erosion control strategy to ensure sediment does not erode into the drainage system.

## 2. SOIL WORKS

2.01. Materials  
Soil Types  
Refer to the Landscape Schedule for specified soil types for all planting / lawn areas.

2.02. Installation  
TESTING  
All testing is to be conducted in accordance with AS1289 Method of testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted with sulphur or lime to suit.  
A soil test must be undertaken by SESL Australia (or approved equal) for all commercial, industrial, and multi-unit residential sites. The successful contractor shall implement the recommendations of this test.

SUBGRADE REQUIREMENTS  
Refer to the soil depth plan, landscape sections and details for required subgrade levels and cultivation depths. Ensure a thorough breakup of the subgrade into a coarse lith. Grade subgrades to provide falls to surface and subsurface drains, prior to the installation of specified topsoil. The Contractor must arrange for Client's Representative (Landscape Architect) to inspect the preparation of sub grade prior to the installation of top soil to ensure adequate preparation has occurred and subgrade levels allow for the nominated topsoil depths. Where inspection is not provided and topsoil levels are not installed as documented the contractor will be required to excavate and reinstall to the nominated depths.

DRAINAGE  
Coordinate and or install surface and subsurface drainage as nominated within landscape, hydraulic and civil documentation. Where not documented, detailed or installed by others the landscape contractor must install drainage cell to all garden planters on structure including vertical drainage cell up raised planter walls, vertical drainage wall panels to the rear of all retaining walls, and subsol drainage beneath the line of any channelized landscape area / swale / overland flow path through garden areas. All subsurface drainage is to be connected into the sites stormwater system.  
All landscape surfaces must have positive fall to drainage points / all areas must drain satisfactorily without the ponding of water. Where the contractor identifies a design level or grade that may create surface ponding they are to inform the Client's Representative and await instruction (within 5 working days).

ACHIEVING FINISHED LEVELS  
Growing media placed as fill in lawn areas, mass planting beds, and tree pits shall be lightly compacted in maximum 75mm layers so as to minimise degree of future settlement. No work shall be carried out on mass planting beds whilst soil is still wet, to avoid compaction of these areas. If future settlement occurs Contractor is to allow for additional fill material to achieve design finished levels. Thickening of mulch layer to achieve design finished levels is not acceptable and will be defected.  
Refer to additional plan notes regarding soil levels.

## 3. PLANTING

3.01. Materials  
Specimen Quality & Size  
All plants must be grown well, healthy, not soft or forced, nor rootbound and weed free. The Contractor must undertake a thorough inspection of all plants at the time of delivery and after they have been unloaded off the delivery vehicle to identify damaged or defective plants. When damaged stock is found the Installation Contractor must immediately notify the Client's representative and the Supplier of the damage, and record the time, date and nature of the damage including photographic evidence. At this stage the Supplier will be liable for replacement of defective stock. The Supplier may choose to have the specimens returned immediately or await a determination by the Client's representative.  
All tree stock must be in accordance with AS 2303 "Tree Stock for Landscape Use".

SPECIES  
Plants must be true to species or cultivar as named. Plant substitution is not acceptable unless approved by Client's representative (Landscape Architect).  
PLANT NUMBERS  
The Contractor is to install the specified number of plants to ensure a full and instant look for potential buyers, and or residents.  
Installed planting will undergo a detailed analysis of quantities. Reduced quantities will be defected and require additional planting to occur in accord with tendered quantities. Should the client wish to remain with the installed quantities a monetary sum will be calculated and be deducted from the contract price to align with the actual quantities installed.

STAKES & TIES  
Generally, staking of trees is not recommended to ensure the thickening of tree trunks / reaction wood. All plant stems must be robust enough to support their own weight. However, the contractor is to provide staking to trees that are at risk of being damaged due to location, or wind buffering. Staking requirements are to be confirmed with the Client's Representative on site. The Contractor is to stake trees to the satisfaction of the Client's Representative.  
Staking is to consist of 3x2200x50mmx50mm unpainted hardwood timber stakes, straight, free of knots, and pointed at one end. Ties to be 50mm wide hessian webbing material wrapped in a figure 8 around the trunk. Ties are to be a loose fit to ensure trunk movement and the development of reaction wood.

FERTILISERS  
Fertilisers is not required due to the nutrient levels within imported topsoil.  
Fertilisers must be slow release fertilisers suitable for the proposed planting types. For native plants, specifically Proteaceae family plants (including Grevillea, Banksia, Hakea spp.), low phosphorus fertilisers shall be used.

MULCH  
Refer to the landscape schedule for specified mulch material.

TURF  
Refer to the landscape schedule for specified turf material.

3.02. Installation  
Setting Out  
All planting set out shall be in accordance with the drawings by a suitably qualified horticulturalist – to ensure the correct species have been correctly located. Out of place species will be defected and require amendment back to designed locations.  
Any conflicts with services must be identified by the Contractor, and adjustment to the location must be approved by the Client's representative (Landscape Architect).

## 3. PLANTING

Planting  
Planting holes shall be dug to the depth as illustrated in details provided and the base of the whole loosened to a depth of 150mm.  
The Contractor must ensure that a 'pond' is not dug into clay sub grade material and that planting holes are free draining. Should the Contractor not be satisfied with quality of existing soil into which plants are to be installed then Contractor must immediately advise Client's representative and await further instructions.  
All plant material shall be planted as soon after delivery as possible. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. For all tree species, trim potted root balls by 10% off perimeter prior to planting to remove circling roots and encourage lateral root development.  
Plants must not be removed from their pots until the immediate time of planting. Removing plants from pots and leaving exposed root balls in baking sun / heat / wind will cause death, and be defected requiring replacement at the Contractor's expense.

All plants shall be thoroughly watered immediately prior to planting. Set plant in the centre of hole and backfill with growing media as specified. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting. On completion of planting surface the base of each stem shall finish flush with the soil surface level.  
The potted soil surface must finish flush with the in-ground soil surface.

Planting on Structure  
Planter boxes constructed over a concrete slab shall be built in accordance with the following details provided prior to the issue of a relevant Completion / Compliance Certificate:  
a) Ensure soil depths are in accordance with the plans and details provided. The base of the planter must be screeded to ensure drainage to a piped internal drainage outlet of minimum dia. 90mm, with no low points elsewhere in the planter. There are to be no external weed holes.  
b) Planters are to be fully waterproofed and sealed internally with a proprietary sealing agent and applied by a qualified and experienced tradesman to eliminate water seepage and staining of the external face of the planter. All internal sealed finishes are to be sound and installed to manufacturer's directions prior to backfilling with soil. An inspection of the waterproofing and sealing of edges is required by the Certifier prior to backfilling with soil.  
c) Drainage cell must be supplied to the base and sides of the planter to minimize damage to the waterproof seal during backfilling and facilitate drainage. Apply a proprietary brand filter fabric and backfill with an imported growing media suitable for planter boxes compliant with AS4419 and AS3743.  
d) Where penetrations through walls for root escape have been detailed ensure all membranes, fabrics and drainage cells are removed from openings to ensure root escape is achievable.

Mulching  
Mulch shall be spread evenly across all planting beds to the depth specified in the drawings. Mulch must be installed clear of all plant stems / trunks as detailed. There shall be no mixing of soil and mulch material.  
Turfing  
Moisten soil prior to the turf being laid. Contractor must lay turf in stretcher bond pattern with neatly butted joints, and true to grade to finish flush with adjacent surfaces. All new and existing Turf areas shall receive an application of lawn starter fertiliser, at the supplier's recommended rates. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation. Keep turf moist until roots have taken and sodrols cannot be lifted. Keep all traffic off turf until this has occurred. Maintain watering for duration of contract, and specifically follow establishment guidelines available from certified turf supplier.

Refer to additional plant sourcing to installation notations on landscape plans.

## 4. HARDSCAPE WORKS

4.01. General  
The Contractor shall undertake the set out and installation of all hardscape works as detailed on the drawings, or where not detailed, to manufacturers specification. The Client's Representative (Landscape Architect) must be notified of any deviation from the drawings, and written approval provided prior to installation by The Contractor.  
All workmanship shall be of the highest standard.  
For all paving works refer to typical details provided, and applicable Australian Standards. The Contractor must provide samples of all paving materials prior to construction. All finished surfaces shall be free-draining and evenly graded between levels points.  
All service pit lids must be infilled with paving to match the surrounding surface treatment, unless otherwise specified.  
Australian Standards shall be adhered to in relation to all concrete, masonry, and metal work. Some details are typical and may vary on site.

## 4.02. Timber

Sourcing  
All timber used on the project is to be sourced from a combination of the following:  
• Sourced from forests that have been certified by forest certification schemes that meet the GBCA's 'Essential' criteria for forest certification. Currently this includes the FSC International and PEFC schemes.  
• Please see <http://www.gbca.org.au/green-star/revised-timber-credit/2693.htm> for further information.  
• Re-used timber  
Where certified timber is used, it must be supplied in accordance with the Chain of Custody (CoC) rules of the respective certification scheme. Relevant CoC certificates and invoices including a relevant CoC code and/or serial number must be provided.  
Where re-used timber is used a description must be provided demonstrating how this requirement is met and providing calculations (i.e. a breakdown of all components by area, length and mass). Where the actual cost of the item is known then the cost must be reported. Where the actual cost of reused items is not known, then the cost may be estimated on the basis of replacement cost (i.e. the cost of an equivalent new item).  
If timber products are produced from 100% post-consumer recycled timber without any virgin timber content, then this can be deemed 're-used' timber. Third party verification, in the form of a signed statement, is required to confirm the percentage of post-consumer recycled content in such product(s) in order for them to be recognised as 'reused timber'. The third-party verification statement must be provided by an auditor registered by the Registrar Accreditation Board Quality Society of Australasia (RABQSA), or other equivalent national or international auditor accreditation system.  
Prior to procuring any timber products, the Subcontractor is required to provide a signed statement listing the product and supplier or all timber products they propose to bring to site, and provide evidence of compliance with this credit, for review and approval by the Client's Representative.  
The Contractor must provide details of:  
• Description of timber use/product  
• Whether it is re-used, certified or uncertified timber  
• Where certified, provide name of certification scheme and CoC code or serial number  
• Quantity of timber by area (m2), linear metre (m), or number of items (no.)  
• Cost of each timber item  
At completion of works, the Contractor shall undertake a final audit to sure the correct and complaint products have been used, and generate a report summarising the quantities and costs of each product type used.

Leaching  
Leaching of hardwood timber will occur. All timber must be pre-leached before installation to prevent staining of surrounding materials. Following installation, as a safe guard, all surrounding materials must be covered/protected in case some leaching occurs. Where leaching does occur the Client's Representative will review the timber product against the requirements of this specification. Where deemed excessive the product may be defected and require replacement. Any staining to elements such as paving, walls or furniture must be cleaned in accordance with recommendations of the product supplier.

## 5. IRRIGATION

5.01. General (performance specification)  
The Contractor must Design and Construct fully automatic subsurface irrigation systems to all planting areas on ground and structure. Each system must be commercial grade and conform to relevant Australian Standards, including AS3500 & the Electrical Safety Act 2002, Workplace Health & Safety Act 1995, & the latest Sydney Water Code.  
An automated subsurface drip irrigation system equal to Rain Bird® XFS Sub-Surface Copper-Colored Dripline with Copper Shield™ Technology (as available from Rain Bird Australia Pty Ltd - 1800 724 624) is to be installed to all gardens, planters, and lawn areas in accordance with the approved irrigation design. The irrigation system is to include a moisture sensor override.  
This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage of water.  
The installer is required to obtain all approvals necessary for the completion of works in accordance with laws of Australia, laws of the State, Council by-laws and ordinances.

Drawings  
The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement prior to installation.  
Design Requirements:  
• The irrigation system shall be installed prior to all planting works.  
• It shall incorporate a suitable backflow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.  
• The irrigation application rate shall not exceed the infiltration rate of the soil or create run-off.  
• The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock / Quick-Coupling Valve (QCV) where available.  
• Quick-Coupling Valves (QCV), if required, must be located inside lockable valve boxes, concealed from view within garden areas, and distributed to ensure ability for watering all garden areas with a 20m hose.  
• Contractor must provide sample valve box and QCV for review and approval prior to installation.  
• All irrigation piping must be installed below finished soil levels to the depth specified by manufacturer. Covering piping with mulch only is not acceptable. Visible irrigation pipe will be defected.  
• Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.  
Services Coordination  
• Coordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions.  
• Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision, and water supply.  
Testing and Defects  
Upon completion of installation, the system shall be tested, including:  
• Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of time.  
• Dripper Pressure Test: Measurement at flushing valves is taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa.  
• All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance period, then these faults shall be immediately rectified.

Warranty  
A minimum 5 year warranty shall be included to cover labour and all parts.

6. Maintenance  
6.01. General  
• The Landscape Contractor must provide establishment maintenance to all installed landscape works both ground and on structure, terraces, rooftops etc for a period of 78 weeks to enable plant establishment through at least 1 full growing season (warm weather).  
• The maintenance period will begin at Practical Completion.  
• Prior to requesting practical completion, The Contractor shall make good / repair any damaged areas, including but not limited to existing turf, planting, pavements, kerb and gutter, signage, buildings, services. All must be returned to a condition equivalent to that prior to commencement of works. The Contractor shall leave the site in a tidy condition and to satisfaction of Client's Representative. Contractor shall be responsible for removal from site of all unwanted material and debris resulting from their work.  
• Maintenance shall mean the care and maintenance of contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent.  
• A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Timing of maintenance works shall be spread regularly over maintenance period. Duties shall include, but not be limited to:  
• maintenance of all paving, retaining and hardscape elements;  
• watering of planting/turf areas and irrigation maintenance;  
• removal of any weed growth or litter/debris;  
• replacing failed plants (at no additional cost to the Client unless due to vandalism or some other reason beyond the Contractors control, at discretion of Client's representative);  
• topping up areas of soil subsidence, settling, compaction or erosion;  
• topping up of mulch;  
• spraying of plants as necessary to combat insects or disease;  
• fertilising with approved fertilisers at correct rates;  
• mowing lawns & trimming edges as required to maintain neat finish;  
• adjusting ties to stakes;  
• training of climbers to trellis systems (where applicable)  
• pruning in accordance with Australian Standard 4373 "Pruning of Amenity Trees".  
• The Landscape Contractor must keep a logbook of all maintenance activity, and submit with each progress claim as evidence of works undertaken.  
• On completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the Superintendent or Client's Representative (Landscape Architect), the responsibility will be signed over to the Client.  
• Where defective works are only rectified at the end of the maintenance period the Client retains the right to reinstate the maintenance period for the newly installed works.

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## SURVEY INFORMATION

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A 22.11.2024 FOR DA APPROVAL CL CL

Rev Date Description Drawn Checked



LONGLA Studio 26a Forest Glen Drive, Cranebrook, NSW, 2749  
Phone (+61) 0423011420

Client

John McGrath

Project

Private Development  
141 Meehan Street, Yass

Drawing Title

Landscape Maintenance Plan

Drawing Status

FOR COORDINATION

Scale @ A3 Date 22.11.2024 4:00:00pm

Project No. Drawing No. Revision

2409 LS-000-004 1

## MAINTENANCE SCHEDULE

### NOTE:

The consolidation program shall include, but not limited to, the following items:

#### 1. Consolidation program

##### 1.01. Routine Maintenance.

Provide routine maintenance for a period of six months after practical completion. Program to include but not limited to plan establishment, watering, mowing, fertilising, weeding, staking, pruning, mulching, pest and disease control and generally maintaining the site in a neat and tidy condition.

##### 1.02. Watering

Watering of plants and turf should be done in conjunction with current Yass Council watering restrictions.

##### 1.03. Fertilising

Apply an appropriate lawn fertiliser, at manufacturer's rates, after 6 weeks of installation. Ensure fertiliser is adequately watered and evenly dispersed for healthy even lawn growth.

##### 1.04. Mulch

Mulch of garden beds must adhere to Australian Standard AS4454.

##### 1.05. Lawns

Repair lawns in all failed areas. Lawn to be fertilised twice a year in the warm months, mowing weekly in summer months and fortnightly or monthly as required in the winter months.

##### 1.06. Disease and pest control

Disease and Pest Control. If pathological disease or insect pests appear, they are to be controlled using organic methods or pest and disease control. Failing this, chemical sprays may be used, at manufacturer's rates, with prior consent of client. Replacement. Defects including any dead or unhealthy plant must be replaced or treated within 3 weeks. Missing, dead or unhealthy plants are to be replaced with plants of similar size and quality and identical species/variety, unless a substitution has been approved by Council.

##### 1.07. Pruning

Prune hedge plants a minimum of 2-3 times a year, in the warmer months. Wait for at least 10mm of new growth before pruning again to promote healthy new growth.

Tree pruning must be carried out to meet Australian Standards AS4373 'Pruning of Amenity Trees' and shall comply with Councils Tree Preservation Order.

##### 1.08. Making Good.

The contractor shall make good erosion of soil or subsidence which may occur, at no contract variation.

#### 2. SOFTSCAPING - PLANT LIS

Refer to page 04 for more information to plant mainenance guide

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Phone (+61) 0423011420

Client

**John Mcgrath**

Project

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Drawing Title

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Drawing Status

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Scale	@ A3	Date	22.11.2024 4:00:00pm
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Project No.	Drawing No.	Revision
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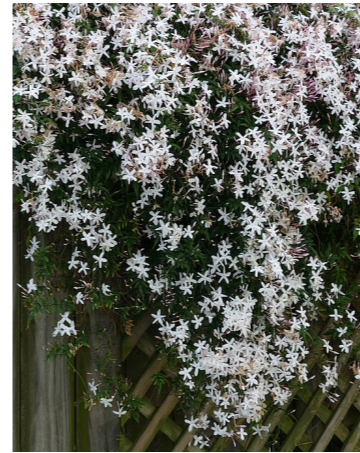
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2.01. Angophora Hispida  
 - Watering  
 Water consistently during its early years. Established trees can tolerate moderate drought but thrive with regular deep watering.  
 - Mulching  
 Refer to Australian standards AS4454



2.05. Lomandra Confertifolia  
 - Fertilising  
 Feed in spring with a native formulated fertiliser.  
 - Watering  
 Water frequently until plant is established, and will tolerate drought once established, although an occasional deep watering during extended heat is recommended.  
 - Pruning  
 Cut back to approx. 10cm from base in early spring or autumn.  
 - Mulching  
 Refer to Australian standards AS4454



2.09. Common Star Jasmine  
 - Watering  
 Water consistently  
 - Pruning  
 Jasmine needs yearly pruning to stay tidy and an appropriate size from late winter or early spring are good times for pruning.  
 - Fertilising  
 Mix some fertiliser into the soil at least once a month during the growth season (spring through to Autumn) and then twice a year start of spring and late summer.  
 - Mulching  
 Refer to Australian standards AS4454



2.02. Angophora Hispida  
 - Fertilising  
 Fertilise with a slow release fertiliser in spring and again in autumn  
 - Watering:  
 Water frequently until plant is established, and during dry spells as it doesn't like drying out.  
 - Pruning  
 Regular pruning is required to maintain shape and compact growth. Will regrow after a hard prune if necessary.  
 - Mulching  
 Refer to Australian standards AS4454



2.06. Themeda Triandra  
 - Fertilising  
 When planted out, slow release fertiliser should be placed in the hole with the seedling, watered in well. Fertilise with a slow release fertiliser in spring and again in autumn  
 - Watering:  
 Water frequently until plant is established  
 - Seeding  
 Periodic seeding, perhaps on average every third year, is required for stand persistence.  
 - Mulching  
 Refer to Australian standards AS4454



2.11. Photinia Super Hedge  
 - Watering  
 Water consistently, once or twice a week and less during wetter seasons.  
 - Pruning  
 Prune on a regular basis to help bush the plants out. Prune in autumn for good flowering the following spring.  
 - Fertilising  
 Feed in autumn and spring with a Soil Improver & Plant Fertiliser to promote strong root development, healthy foliage and beautiful flowers.  
 - Mulching  
 Refer to Australian standards AS4454



2.03. Austrostipa Densiflora  
 - Fertilising  
 Fertilise with a native slow release fertiliser once a year.  
 - Watering  
 Water consistently during its early years. Established trees can tolerate moderate drought but thrive with regular deep watering.  
 - Mulching  
 Refer to Australian standards AS4454



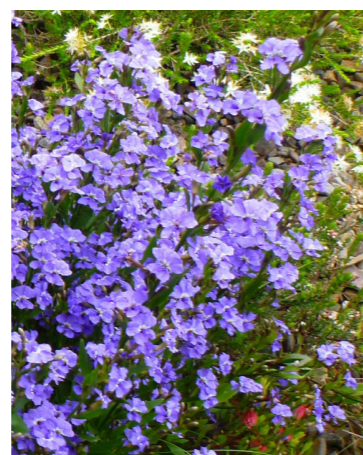
2.07. Myoporum Parvifolium  
 - Fertilising  
 Feed your Myoporum Parvifolium with a low-phosphorus, slow-release fertiliser at the time of planting, then once a year after pruning.  
 - Pruning  
 Must be trimmed to prevent excessive growth and to preserve a good appearance. We recommend that you prune it in late Winter or early Spring.  
 - Watering  
 Deep watering every one- two weeks in the summer and less frequently in the Autumn and Winter months. its extremely drought-tolerant  
 - Mulching



2.11. Canberra turf blend  
 - Watering  
 Water consistently, once every few days and less during wetter seasons.  
 - Fertilising  
 Fertilise in Spring and Autumn. To achieve an even balance of nutrients, Canturf Grow Green should be added in small regular meals, three times in each growing season (spring and autumn). always water the lawn after feeding.



2.04. Joyce Pallida  
 - Fertilising  
 Fertilise with a native slow release fertiliser once a year.  
 - Watering:  
 Water frequently until plant is established, and will tolerate drought once established  
 - Pruning  
 Cut back periodically.  
 - Mulching  
 Refer to Australian standards AS4454



2.08. Dampiera Stricta  
 - Fertilising  
 Fertilise with a native slow release fertiliser once a year.  
 - Watering:  
 Water frequently until plant is established,  
 - Pruning  
 Cut back after flowering to promote new growth.  
 - Mulching  
 Refer to Australian standards AS4454

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Client

**John Mcgrath**

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Scale	@ A3	Date	22.11.2024 4:00:00pm
Project No.	Drawing No.	Revision	
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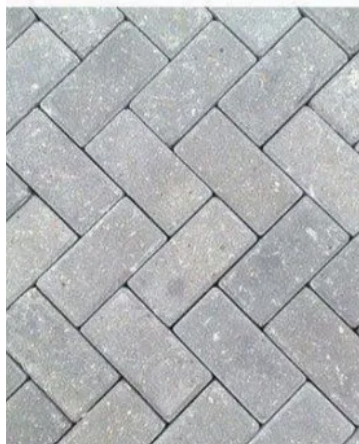
2.01. Gravel  
 - General Maintenance  
 Rake Regularly. Gravel is a loose material so it will move over time, especially in climates which experience regular high winds and downpours.

- Repair Potholes  
 Repair any potholes, by filling

- Inhibit Weeds  
 Use a non-toxic herbicide over the top of your driveway with a garden sprayer when weeds occur.



2.11. Concrete  
 - General Maintenance  
 Keep your concrete clean by removing dirt, leaves and debris from the surface with a broom or a blower.



2.12. Paver  
 - General Maintenance  
 Washing down the pavers with a hose or a high pressure domestic cleaner is not recommended until the pavers have settled and the grout sand has set between the paving joints. The best type of sand to use between the joints is a dried sand or a polymeric sand best known as Pave Set or similar

During the settling in period sweep only with a stiff outdoor broom or use a garden blower. When using the blower don't blow it straight in to the paving joints, use it at an angle so as to not blow any joint sand out. Frequent sweeping and occasional washing reduces the effect of dirt and grime and maintains the attractiveness of a paved area.

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