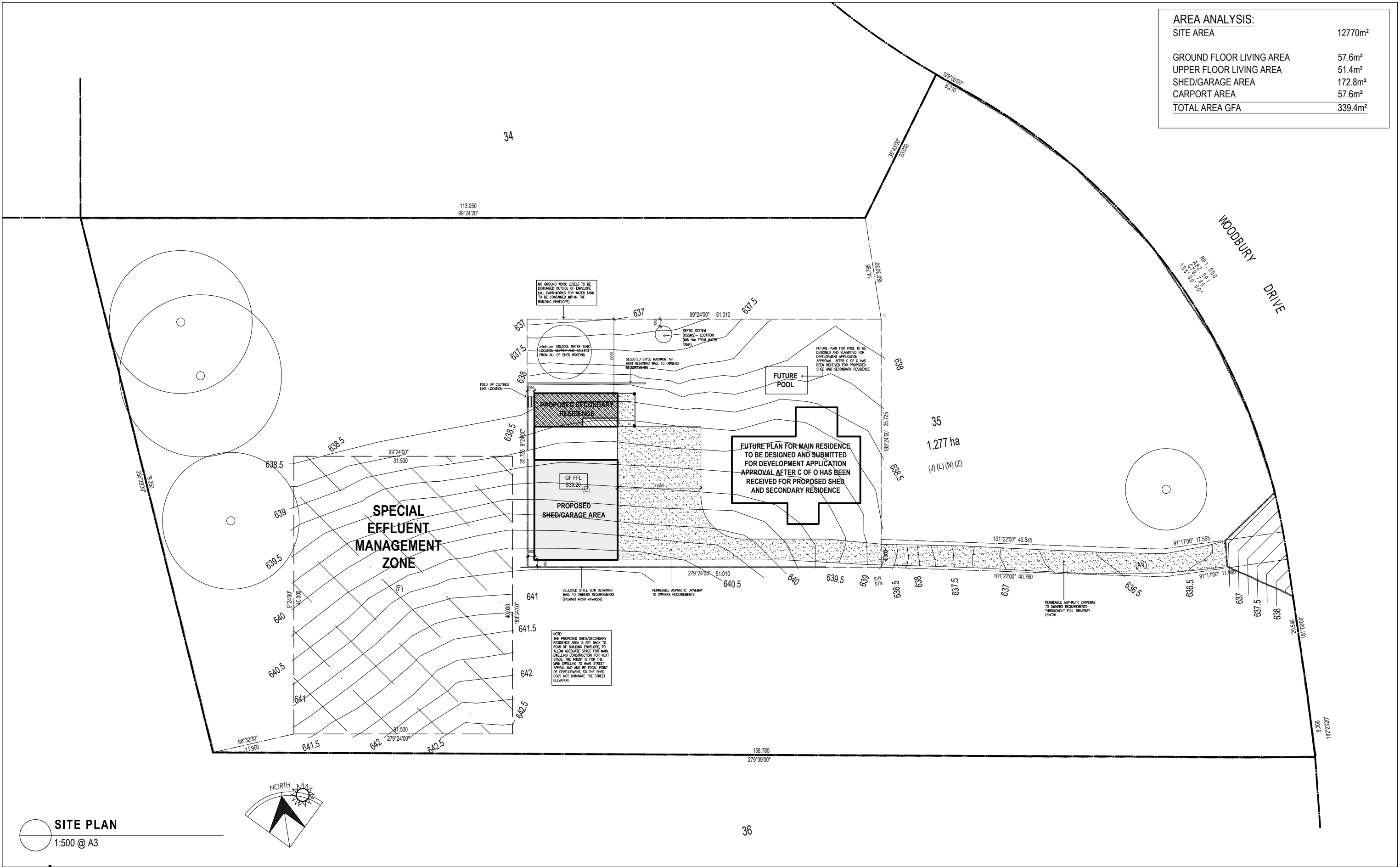
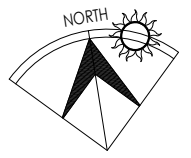


AREA ANALYSIS:	
SITE AREA	12770m ²
GROUND FLOOR LIVING AREA	57.6m ²
UPPER FLOOR LIVING AREA	51.4m ²
SHED/GARAGE AREA	172.8m ²
CARPORT AREA	57.6m ²
TOTAL AREA GFA	339.4m ²



SITE PLAN
1:500 @ A3



INVENTIVE BUILDING DESIGN

39 FRANCES BURKE STREET,
GUNGALHIN ACT 2912
M: 0407908688

Lot 35 DP 271494 Suttou

SCALE: 1:500 @ A3
DRAWN: RJ
PRINT DATE: 20/01/2025
PROJECT: PROPOSED NEW SHED + DWELLING
PROJ No. 2436
CLIENT: CARMEN & JEFF BUCKLEY
DWG No. DA01

NO GROUND WORK LEVELS TO BE DISTURBED OUTSIDE OF ENVELOPE (ALL EARTHWORKS FOR WATER TANK TO BE CONTAINED WITHIN THE BUILDING ENVELOPE)

AREA ANALYSIS:	
SITE AREA	12770m ²
GROUND FLOOR LIVING AREA	57.6m ²
UPPER FLOOR LIVING AREA	51.4m ²
SHED/GARAGE AREA	172.8m ²
CARPORT AREA	57.6m ²
TOTAL AREA GFA	339.4m ²

minimum 100,000L WATER TANK LOCATION SUPPLY AND COLLECT FROM ALL OF SHED ROOFING

SEPTIC SYSTEM (OSSMS) - LOCATION (MIN 9m FROM WATER TANK)

SELECTED STYLE MAXIMUM 1m HIGH RETAINING WALL TO OWNERS REQUIREMENTS

FUTURE PLAN FOR POOL TO BE DESIGNED AND SUBMITTED FOR DEVELOPMENT APPLICATION APPROVAL AFTER C OF O HAS BEEN RECEIVED FOR PROPOSED SHED AND SECONDARY RESIDENCE

FUTURE POOL

PROPOSED SECONDARY RESIDENCE

FUTURE PLAN FOR MAIN RESIDENCE TO BE DESIGNED AND SUBMITTED FOR DEVELOPMENT APPLICATION APPROVAL AFTER C OF O HAS BEEN RECEIVED FOR PROPOSED SHED AND SECONDARY RESIDENCE

GF FFL 639.20 (E)

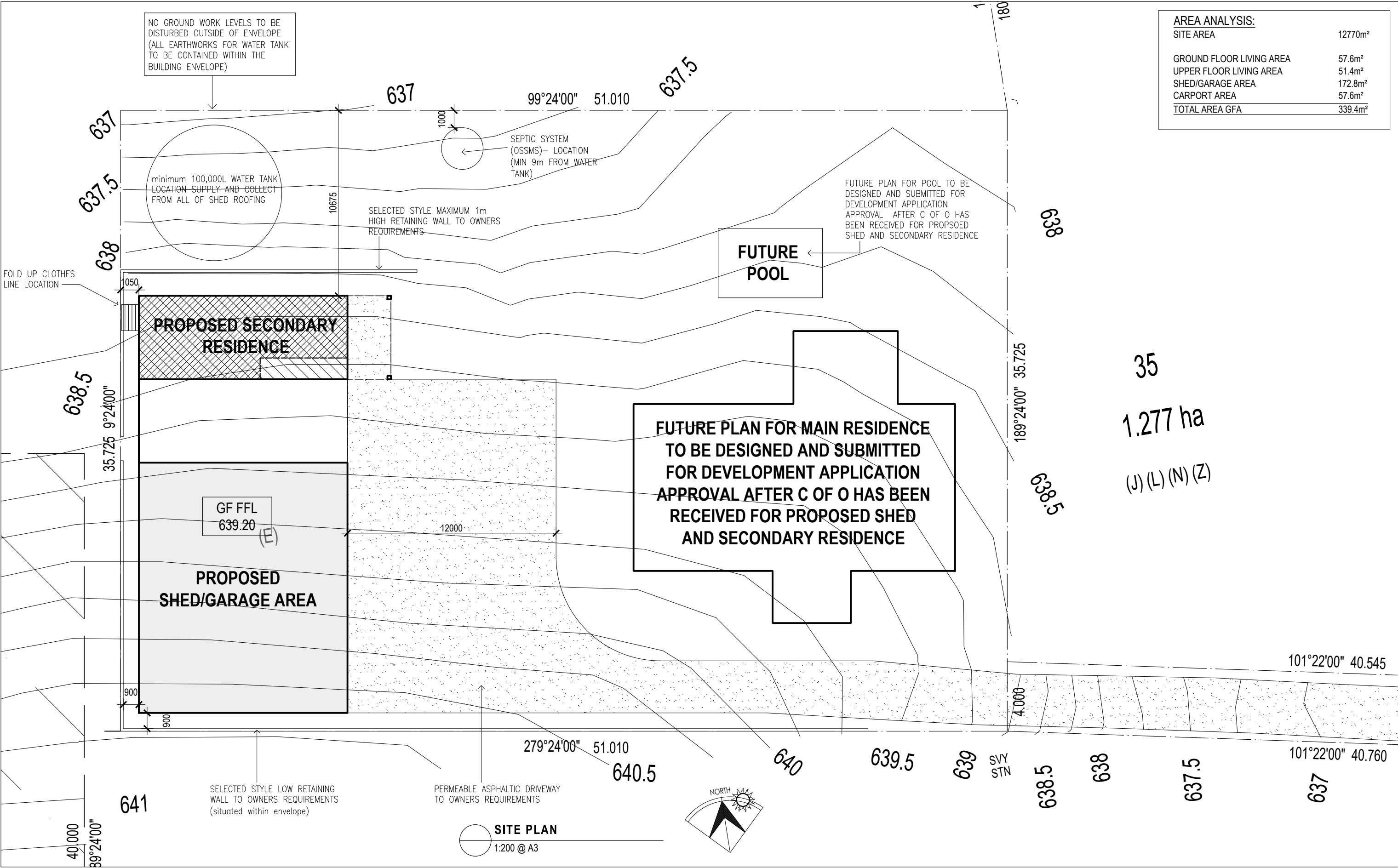
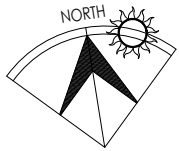
PROPOSED SHED/GARAGE AREA

35
1.277 ha
(J) (L) (N) (Z)

SELECTED STYLE LOW RETAINING WALL TO OWNERS REQUIREMENTS (situated within envelope)

PERMEABLE ASPHALTIC DRIVEWAY TO OWNERS REQUIREMENTS

SITE PLAN
1:200 @ A3



R INVENTIVE BUILDING DESIGN
39 FRANCES BURKE STREET, GUNGAHLIN ACT 2912 M: 0407908688

Lot 35 DP 271494 Sutton

DRAWING	SITE PLAN @200	SCALE	1:200 @ A3
PROJECT	PROPOSED NEW SHED + DWELLING	DRAWN	RJ
CLIENT	CARMEN & JEFF BUCKLEY	PRINT DATE	20/01/2025
		PROJ No.	2436
		DWG No	DA01B

SEDIMENT & EROSION CONTROL

THE DEVELOPMENT WILL COMPLY WITH THE ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT MARCH 2011.

STORAGE AND CONSTRUCTION MATERIALS

NO CONSTRUCTION MATERIALS TO BE STORED ON VERGES.
NO CAR PARKING OR EQUIPMENT PARKING PERMITTED ON VERGES.

SITE ACCOMODATION

NO SITE SHED, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERRECTED ON VERGES.

FENCING

FENCE OF ANY EXISTING VERGE TREES. FENCING TO BE ERRECTED BEFORE THE COMMENCEMENT OF ANY SITE WORK AND REMOVED AT COMPLETION OF ALL CONSTRUCTION.

EXISTING VERGE TREES

ALL IF ANY VERGE TREES ARE TO BE RETAINED AND KEPT UNDAMAGED. EXISTING CROWN CLEARANCE IS NOT TO BE ALTERED. ENSURE CONSTRUCTION EQUIPMENT CAN PASS BENEATH LOWEST LIMB, THROUGH DRIVEWAY ACCESS CROWNS AND APEX OF CANOPIES ARE NOT TO BE ALTERED OR REDUCED. ENSURE LIFTING EQUIPMENT CAN CLEAR HEIGHT AND WIDTH OF TREE CROWN WITHOUT DAMAGE TO CROWN.

MAINTENANCE SCHEDULE MONTHLY

1. TURN OVER STABILISED CONSTRUCTION ENTRY MATERIAL AND TOP UP AS REQUIRED.

WEEKLY

2. CHECK AND REINSTATE SILT CONTROL FENCES.

DAILY

3. SWEEP AND REMOVE ANY DIRT TRACKED ONTO PUBLIC ROADS BY VEHICLES. ALL NECESSARY STEPS SHOULD BE TAKEN THAT ARE PRACTICAL AND REASONABLE TO MINIMISE DUST POLLUTION ON LAND DEVELOPMENT AND CONSTRUCTION SITE.

DURING/AFTER WET WEATHER

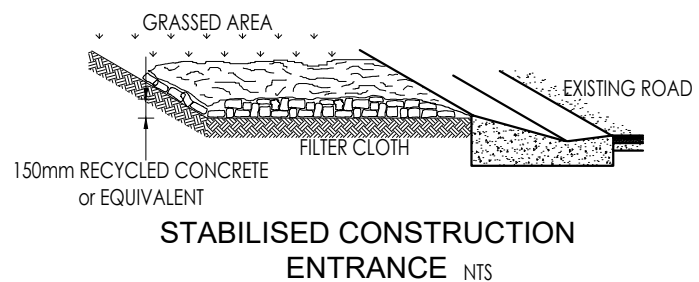
4. LIMIT CONSTRUCTION VEHICLE ACCESS TO SITE DURING AND IMMEDIATELY FOLLOWING WET WEATHER.

DUST MANAGEMENT

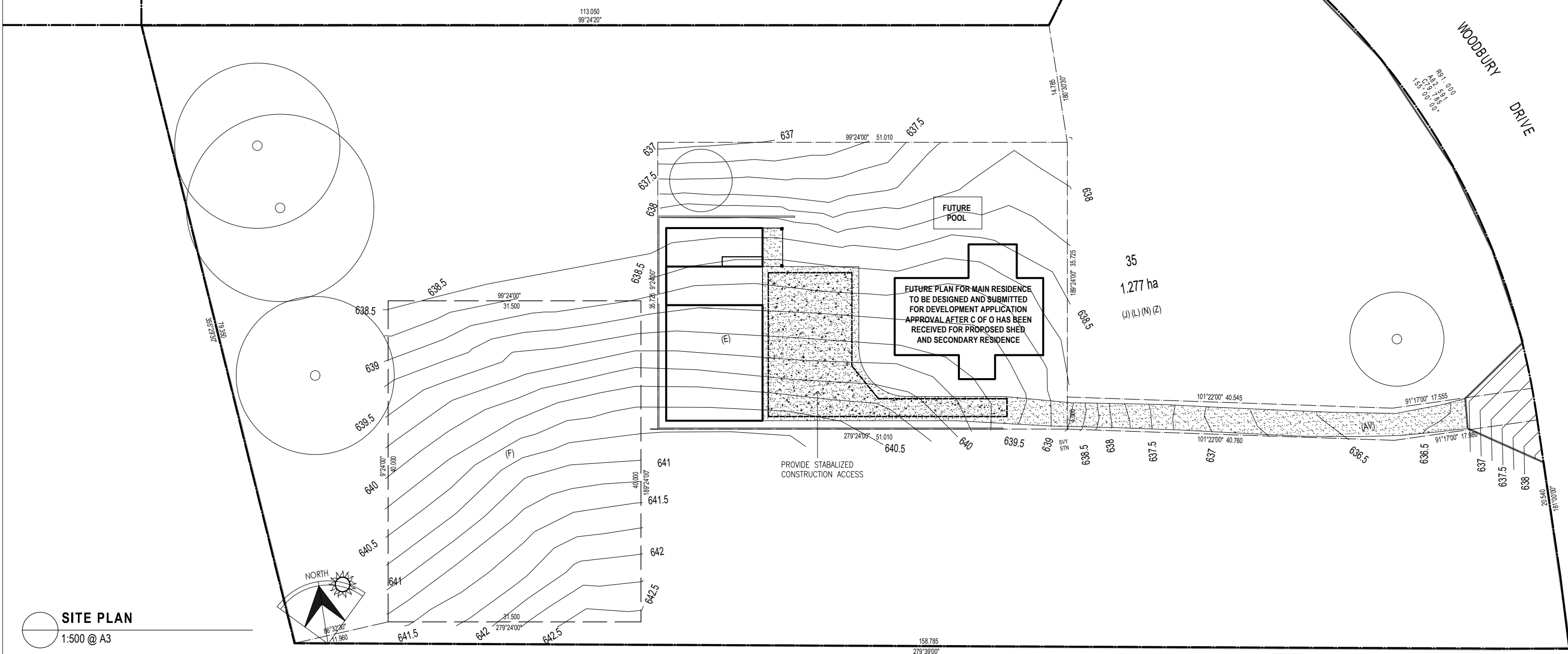
1. A WATER CART OR SUFFICIENT WATER SPRAYS SHALL BE MADE AVAILABLE IN DRY AND WINDY CONDITIONS TO MAINTAIN DUST SUPPRESSION.
2. WATER SHALL BE APPLIED TO SUPPRESS DUST FROM OPEN EARTHWORKS AS WELL AS UNPROTECTED STOCKPILES.
3. STOCKPILES SHALL BE EITHER COVERED OR SEEDED TO PREVENT DUST.
4. AREAS OF COMPLETED EARTHWORKS SHALL BE PROGRESSIVELY REHABILITATED WITH DRYLAND GRASS AND FENCED OFF AS SOON AS PRACTICABLE TO PREVENT FURTHER EROSION.
5. THE CONTRACTOR SHALL CONTACT ACTEWAGL TO OBTAIN AN EXEMPTION TO USE WATER ON THE SITE.

ACCESS

ACCESS POINT SHOULD BE STABILISED TO THE FOLLOWING CRITERIA:
STABILISED PAD OF AGGREGATE UNDERLAIN WITH FILTER CLOTH.
-AGGREGATE SIZE 50mm AGGREGATE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
-THICKNESS: NOT LESS THAN 150mm.
-WIDTH: 3M MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF VEHICLE ACCESS.
-LENGTH: AS REQUIRED, BUT NOT LESS THAN 5M
-FILTER CLOTH: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE.
THE LOCATION OF ANY WASH DOWN AND BRICK/PAVING CUTTING AREAS ARE LOCATED UPSTREAM OF THE SEDIMENT FENCE WITH TRENCHING OR SMALL PONDS TO COLLECT WASTE WATER.
THE KERB IS TO BE SWEEP DAILY, AND THE SEDIMENT IS TO BE COLLECTED AND RETURNED TO SITE.
THE DUST FROM THE SITE IS TO BE MANAGED TO PREVENT SIGNIFICANT ADVERSE IMPACT ON NEIGHBOURING SITES.
REGULAR MONITORING AND MAINTENANCE OF THE ABOVE POLLUTION CONTROLS ARE TO BE UNDERTAKEN.



DESIGN CRITERIA
AGGREGATE SIZE-USE 50mm AGGREGATE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
THICKNESS - NOT LESS THAN 150mm
WIDTH - 6mm MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF VEHICLE ACCESS
LENGTH - AS REQUIRED BUT NOT LESS THAN 15m
FILTER CLOTH TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE
BIDIM U14 OR EQUIVALENT FILTER CLOTH TO BE USED






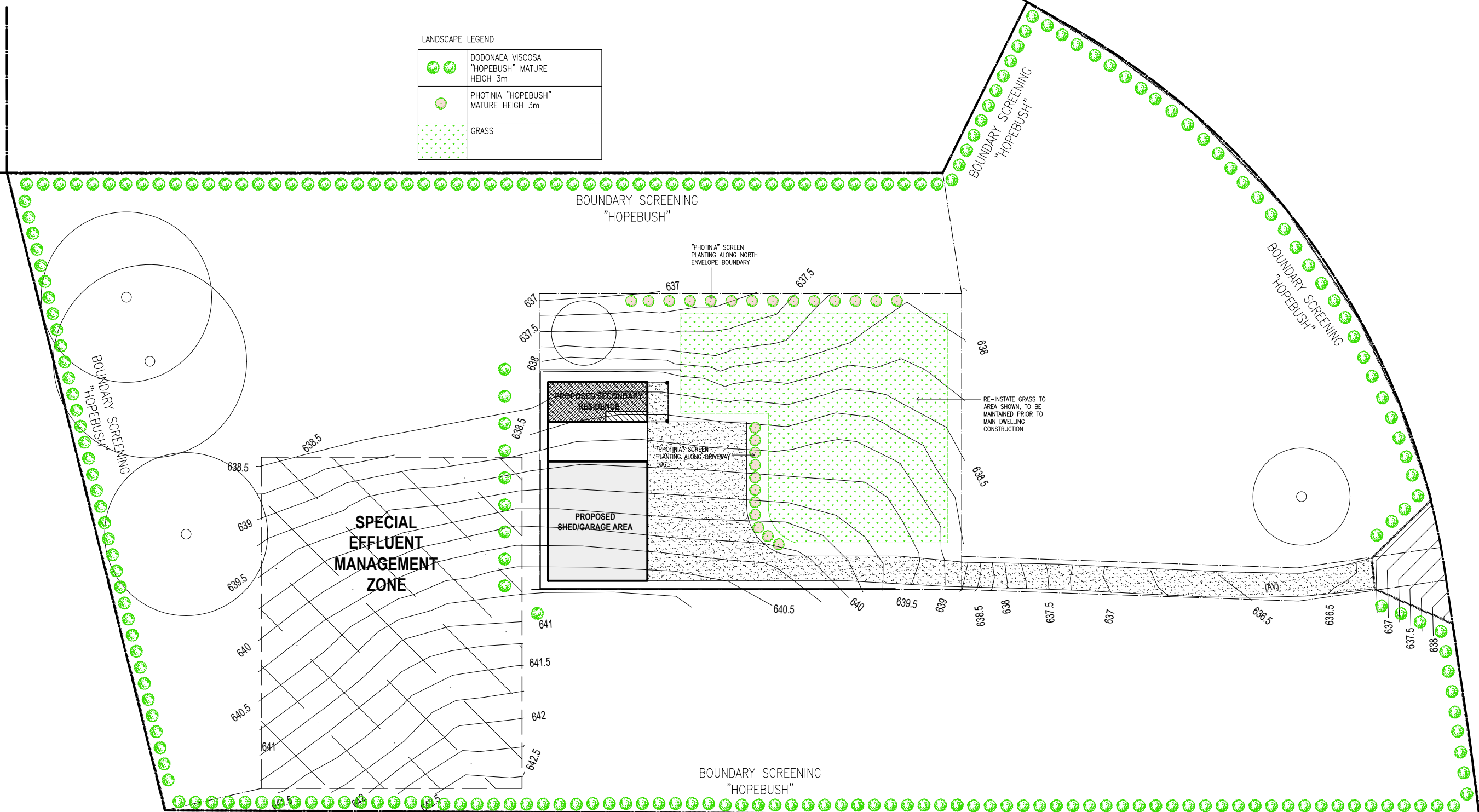
SITE PLAN
1:500 @ A3

39 FRANCES BURKE STREET,
GUNGAHLIN ACT 2912
M: 0407908688

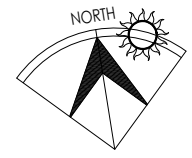
Lot 35 DP 271494 Sutton		SCALE	1:500 @ A3
DRAWING	EROSION & SEDIMENT CONTROL PLAN	DRAWN	RJ
PROJECT	PROPOSED NEW SHED + DWELLING	PRINT DATE	20/01/2025
CLIENT	CARMEN & JEFF BUCKLEY	PROJ No.	2436
		DWG No	DA02

LANDSCAPE LEGEND

	DODONAEA VISCOSA "HOPEBUSH" MATURE HEIGH 3m
	PHOTINIA "HOPEBUSH" MATURE HEIGH 3m
	GRASS

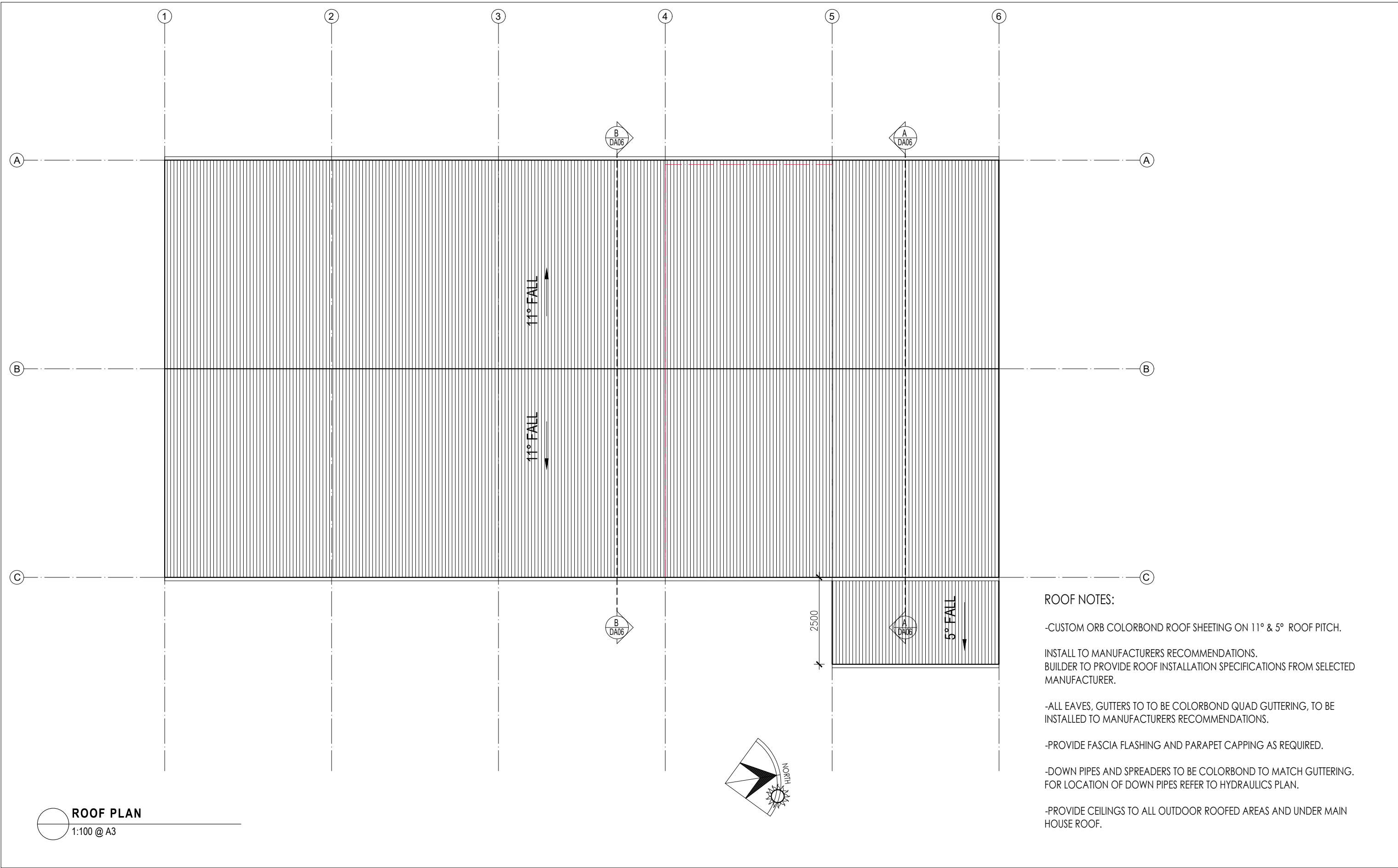


SITE PLAN
1:200 @ A3




39 FRANCES BURKE STREET,
GUNGAHLIN ACT 2912
M: 0407908688

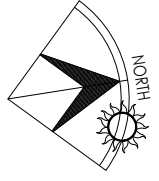
Lot 35 DP 271494 Sutton		SCALE	1:200 @ A3
DRAWING	LANDSCAPE PLAN	DRAWN	RJ
PROJECT	PROPOSED NEW SHED + DWELLING	PRINT DATE	20/01/2025
CLIENT	CARMEN & JEFF BUCKLEY	PROJ No.	2436
		DWG No	DA03



ROOF NOTES:

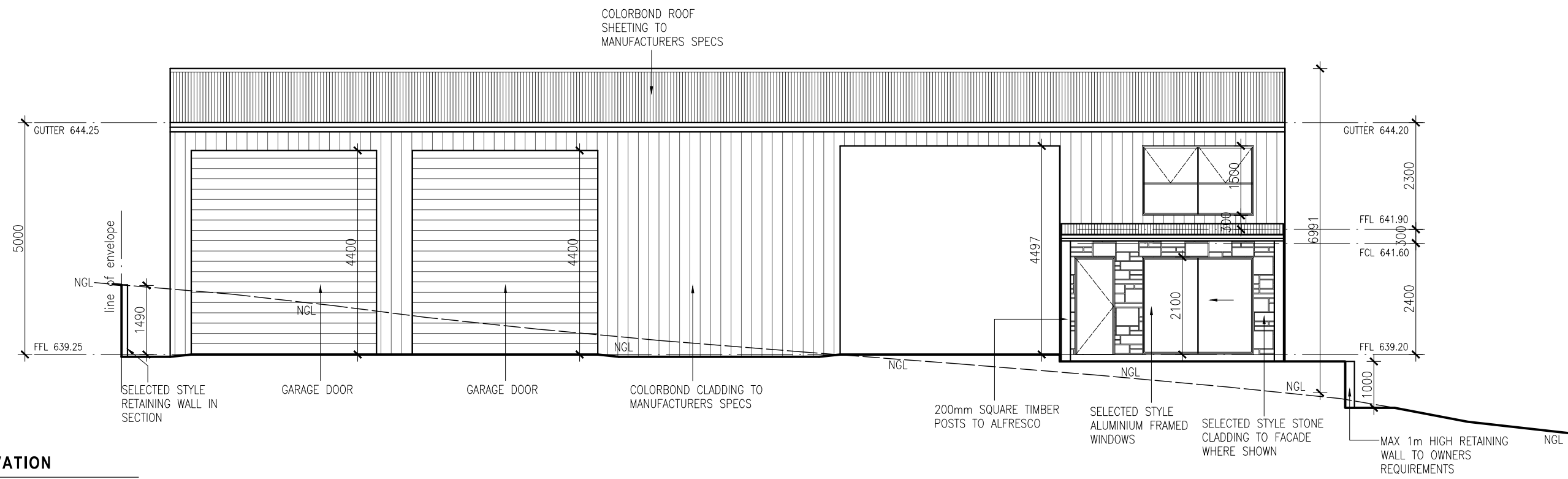
- CUSTOM ORB COLORBOND ROOF SHEETING ON 11° & 5° ROOF PITCH.
- INSTALL TO MANUFACTURERS RECOMMENDATIONS.
BUILDER TO PROVIDE ROOF INSTALLATION SPECIFICATIONS FROM SELECTED MANUFACTURER.
- ALL EAVES, GUTTERS TO TO BE COLORBOND QUAD GUTTERING, TO BE INSTALLED TO MANUFACTURERS RECOMMENDATIONS.
- PROVIDE FASCIA FLASHING AND PARAPET CAPPING AS REQUIRED.
- DOWN PIPES AND SPREADERS TO BE COLORBOND TO MATCH GUTTERING.
FOR LOCATION OF DOWN PIPES REFER TO HYDRAULICS PLAN.
- PROVIDE CEILINGS TO ALL OUTDOOR ROOFED AREAS AND UNDER MAIN HOUSE ROOF.

ROOF PLAN
1:100 @ A3

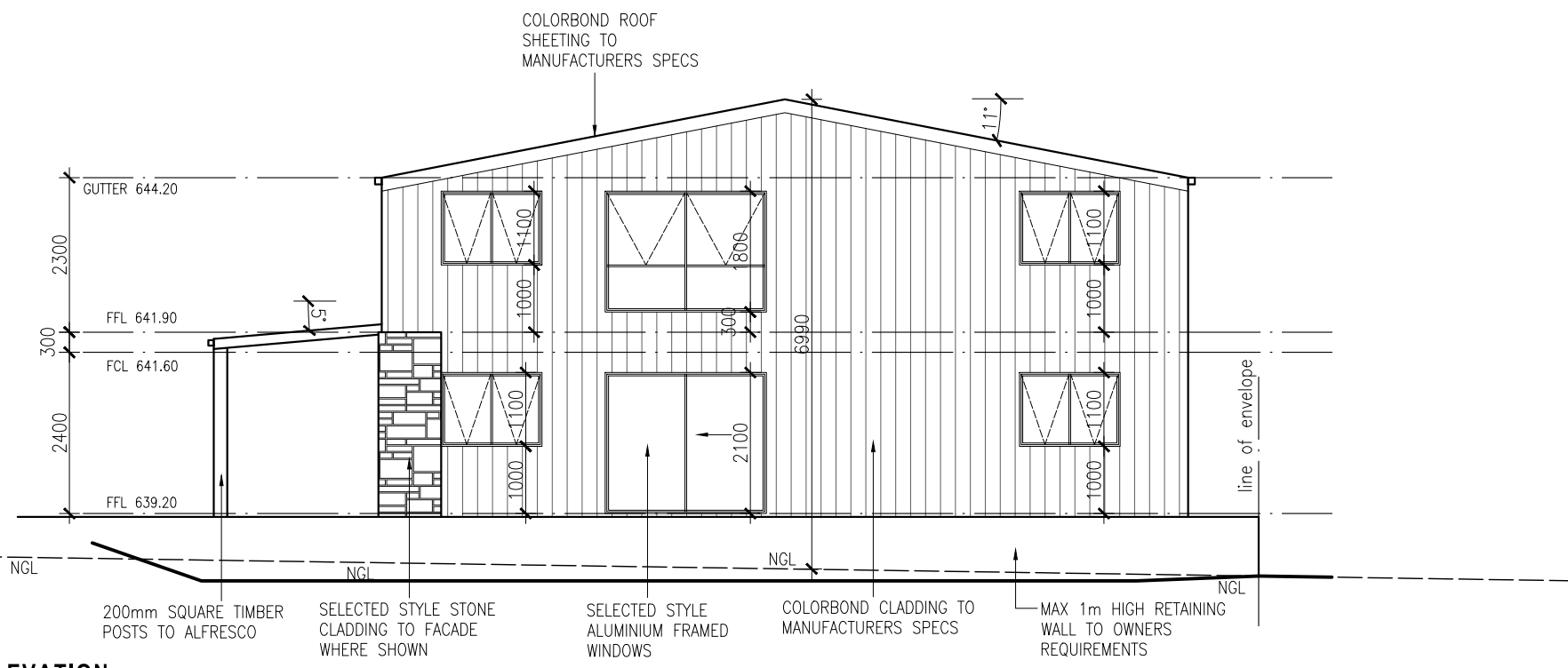


INVENTIVE BUILDING DESIGN
 39 FRANCES BURKE STREET,
 GUNGAHLIN ACT 2912
 M: 0407908688

Lot 35 DP 271494 Sutton		SCALE	1:100 @ A3
DRAWING	ROOF PLAN	DRAWN	RJ
PROJECT	PROPOSED NEW SHED + DWELLING	PRINT DATE	20/01/2025
CLIENT	CARMEN & JEFF BUCKLEY	PROJ No.	2436
		DWG No	DA06



EAST ELEVATION
1:100 @ A3



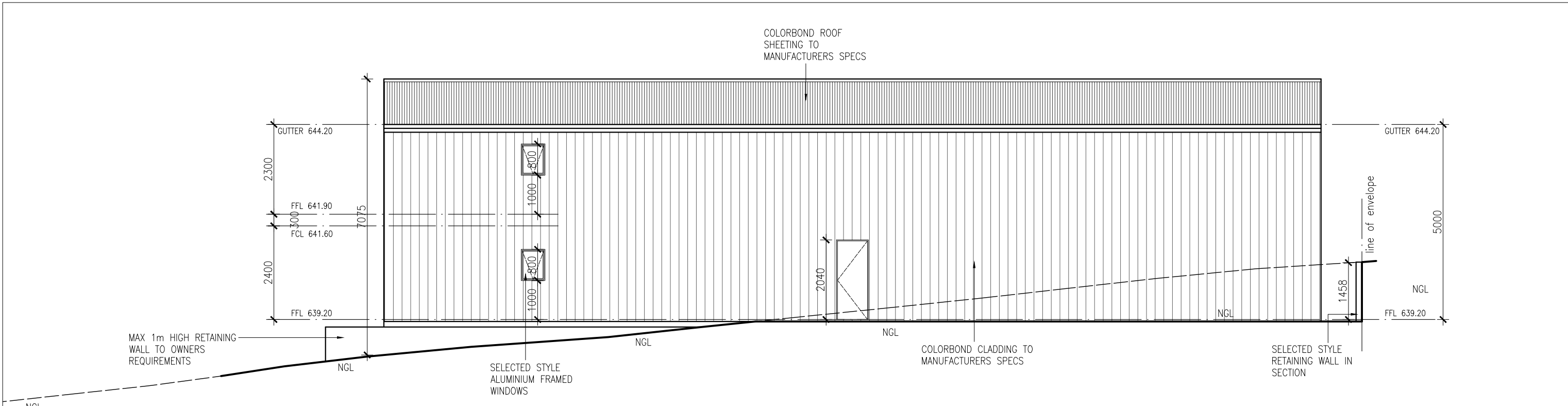
NORTH ELEVATION
1:100 @ A3

LOT 35 DP 271494 SUTTON
EXTERNAL SELECTIONS

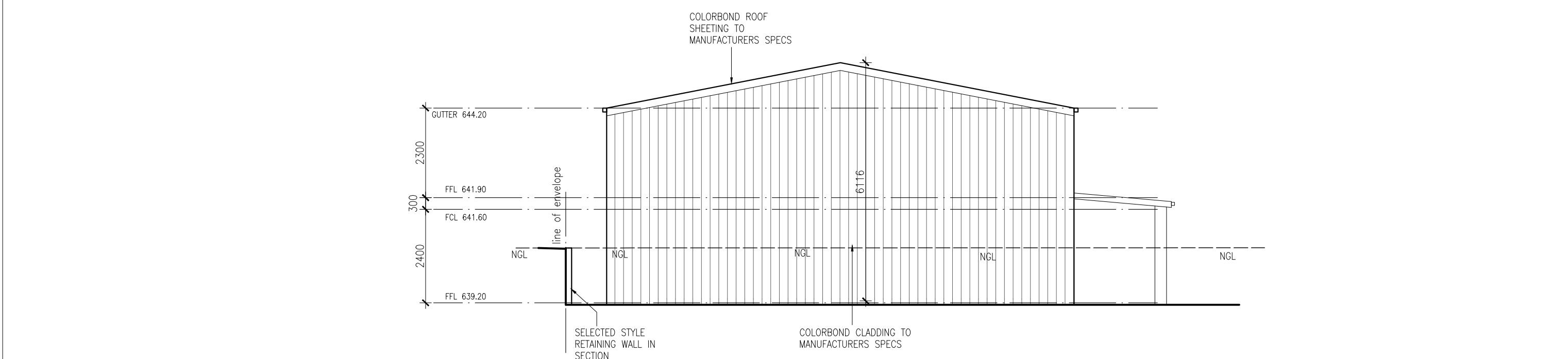
BUILDING ELEMENT	MATERIAL	COLOUR SPEC	
ROOF	CUSTOM ORB COLORBOND ROOF SHEETING	SHALE GREY	
FASCIA & GUTTERS	COLORBOND QUAD GUTTERING	MONUMENT or similar	
CLADDING	COLORBOND	SHALE GREAY	
FEATURE CLADDING	SELECTED STYLE STONE CLADDING- "ARTISAN" OR SIMILAR	SATULA CLADDING or similar	
WINDOWS	ALUMINIUM FRAME POWDERCOATED	SHALE GREY OR MONUMENT yet to be selected	
GARAGE DOOR	COLORBOND	SHALE GREY	

R INVENTIVE BUILDING DESIGN
39 FRANCES BURKE STREET, GUNGAHLIN ACT 2912
M: 0407908688

Lot 35 DP 271494 Sutton
SCALE: 1:100 @ A3
DRAWN: RJ
PRINT DATE: 20/01/2025
PROJECT: PROPOSED NEW SHED + DWELLING
PROJ No.: 2436
CLIENT: CARMEN & JEFF BUCKLEY
DWG No.: DA07



WEST ELEVATION
1:100 @ A3



SOUTH ELEVATION
1:100 @ A3


**R INVENTIVE
BUILDING
DESIGN**
 39 FRANCES BURKE
STREET,
GUNGAHLIN
ACT
2912
M: 0407908688

Lot 35 DP 271494 Sutton		SCALE	1:100 @ A3
DRAWING	ELEVATIONS	DRAWN	RJ
PROJECT	PROPOSED NEW SHED + DWELLING	PRINT DATE	20/01/2025
CLIENT	CARMEN & JEFF BUCKLEY	PROJ No.	2436
		DWG No	DA08